

**PROJECT CONSULTANTS:**

**APPLICANT**  
**CADE MOTORS**  
 2 CARNEGIE ROAD  
 LAWRENCE TOWNSHIP, NJ 08638

**OWNER**  
**JJB & V LLC**  
 1011 WHITEHEAD RD EXT  
 EWING TOWNSHIP, NJ 08638

**SITE ENGINEER:**  
**ACT ENGINEERS INC. SBE**  
 1 WASHINGTON BOULEVARD  
 SUITE 3  
 ROBBINSVILLE, NJ 08691

# PRELIMINARY AND FINAL SITE PLAN

## 2 CARNEGIE ROAD

### LOT 1, BLOCK 1203

## LAWRENCE TOWNSHIP, MERCER COUNTY, NEW JERSEY

**SHEET INDEX**

SHT.NO.	DRAWING TITLE	DATE:
1	COVER SHEET	12/12/22
2	SITE PLAN	12/12/22
3	LANDSCAPE PLAN	12/12/22
4	LIGHTING PLAN	12/12/22
5	CONSTRUCTION DETAILS	12/12/22

**CERTIFIED 200' RADIUS OWNERS LIST**

CERTIFIED LIST AS PROVIDED BY LAWRENCE TOWNSHIP DATED DECEMBER 13, 2022.

BLOCK	LOT	OWNER:	PROPERTY ADDRESS:
1202	1	DEPARTMENT OF ENVIRONMENTAL PROTECTION	JOHN FITCH PLAZA TRENTON, NJ 08625
1203	3 (C010)	FAUBEL ENTERPRISE, LLC	2850 BRUNSWICK PIKE STE1 LAWRENCE TOWNSHIP, NJ 08648
1203	3 (C021)	FAUBEL ENTERPRISE, LLC	2850 BRUNSWICK PIKE, 2A LAWRENCE TOWNSHIP, NJ 08648
1203	3 (C022)	STAGES CONSULTING INC	57 WOODLAND DRIVE PLANSBORO, NJ 08536
1203	3 (C030)	STAGES CONSULTING INC	57 WOODLAND DRIVE PLANSBORO, NJ 08536
1203	3 (C040)	2850 LLC C/O LOUIS JAMMER	2850 BRUNSWICK PIKE LAWRENCE TOWNSHIP, NJ 08648
1203	3 (C050)	2850 LLC C/P LOUIS JAMMER	2850 BRUNSWICK PIKE LAWRENCE TOWNSHIP, NJ 08648
1203	3 (C060)	FAUBELL ENTERPRISE, LLC	2850 BRUNSWICK PIKE STE 1 LAWRENCE TOWNSHIP, NJ 08648
1203	3 (P001)	2850 CONDO ASSOC C/O GALIMDI	8 RIVA RIDGE ROAD MANAPLAN, NJ 07726
1203	4	2700 BRUNSWICK PIKE REALTY, LLC	2700 BRUNSWICK PIKE LAWRENCE TOWNSHIP, NJ 08648
3601	8	DEP DIV OF PARKS & FORESTRY	CN 404 TRENTON, NJ 08625-0404
3601	21.01	EXTRA SPACE PROPERTIES 74, LLC	PO BOX 71870 SALT LAKE CITY, UT 84171
3601	21.02	DEPT OF ENVIRONMENTAL PROTECTION	JOHN FITCH PLAZA TRENTON, NJ 08625
		CORPORATE SECRETARY EWING-LAWRENCE SEWERAGE AUTHORITY	600 WHITEHEAD ROAD LAWRENCEVILLE, NJ 08648
		CORPORATE SECRETARY PUBLIC SERVICE ELECTRIC & GAS COMPANY	80 PARK PLAZA, 4B NEWARK, NJ 07101
		NJ AMERICAN WATER ATTN: DONNA SHORT	1025 LAUREL OAK ROAD VORHEES, NJ 08043
		CORPORATE SECRETARY TRENTON WATER WORKS	PO BOX 528 TRENTON, NJ 08604
		ELIZABETHTOWN GAS COMPANY	ONE ELIZABETHTOWN PLAZA THIRD FLOOR EAST UNION, NJ 07083-1975
		CORPORATE SECRETARY VERIZON	540 BROAD STREET NEWARK, NJ 07101
		AQUA WATER COMPANY ATTN: JAMES BARBATO	2875 ERIAL ROAD ERIAL, NJ 08081
		GENERAL MANAGER COMCAST CABLEVISION	940 PROSPECT STREET TRENTON, NJ 08618
		RCN CORPORATION	105 CARNEGIE CENTER PRINCETON, NJ 08540
		CORPORATE SECRETARY AT&T	1 AT&T WAY BEDMINSTER, NJ 07921
		MERCER COUNTY PLANNING BORAD	640 SOUTH BROAD STREET PO BOX 6068 TRENTON, NJ 08650-8068
		CORPORATE SECRETARY JERSEY CENTRAL POWER AND LIGHT	300 MADISON AVENUE MORRISON, NJ 07962
		SUN PIPE LINE COMPANY ATTN: R-O-W DEPARTMENT	1801 MARKET STREET 26TH FLOOR PHILADELPHIA, PA 19103-1699
		CORPORATE SECRETARY TRANSCONTINENTAL GAS PIPE LINE CORPORATION	2800 POST OAK BOULEVARD HOUSTON, TX 77056
		SUNOCO PIPE LINE, L.P. RIGHT-OF-WAY	525 FRITZTOWN ROAD SINKING SPRING, PA 19608
		MONTELLO COMPLEX COMMISSIONER	1035 PARKWAY AVENUE, CN 600 TRENTON, NJ 08625

**ZONING AND DESIGN STANDARDS**

HIGHWAY COMMERCIAL (HC)  
 PROPOSED USE: USED AUTOMOBILE DEALERSHIP

MINIMUM REQUIREMENTS	LOT 1		PROPOSED
	REQUIRED	EXISTING	
LOT SIZE	5 ACRES	1.40 ACRES	1.40 ACRES *
MIN. FRONTAGE U.S. ROUTE 1	500 FT.	0 FT.	0 FT. *
MIN. GROSS FLOOR AREA	15,000 S.F.	5,896 S.F.±	5,896 S.F.± *
MIN. DISPLAY AREA	4 VEHICLES		4 VEHICLES
MIN. LOT WIDTH	200 FT.	374 FT.	374 FT.
MIN. LOT DEPTH	175 FT.	164 FT.	164 FT. *
MIN. FRONT YARD	25 FT.	84.1 FT.	84.1 FT.
MIN. SIDE YARD	25 FT.	61.2 FT.	61.2 FT.
MIN. REAR YARD	60 FT.	16.3 FT.	16.3 FT. *
<b>MAX. FLOOR AREA RATIO REQ.</b>			
LOTS LESS THAN 5 ACRES	.25	0.10	0.10
<b>MAX. IMPERVIOUS SURFACE RATIO</b>			
LOTS LESS THAN 5 ACRES	.70	.71	.71 *
MAX. BUILDING HEIGHT	35 FT.	< 35 FT.	< 35 FT.
PARKING (AUTOMOBILE SALES)	40 SPACES	70 SPACES	70 SPACES
4 EMPLOYEES X 10 SPACES EMPLOYEE			

\*PRE-EXISTING NON-COMFORMANCE

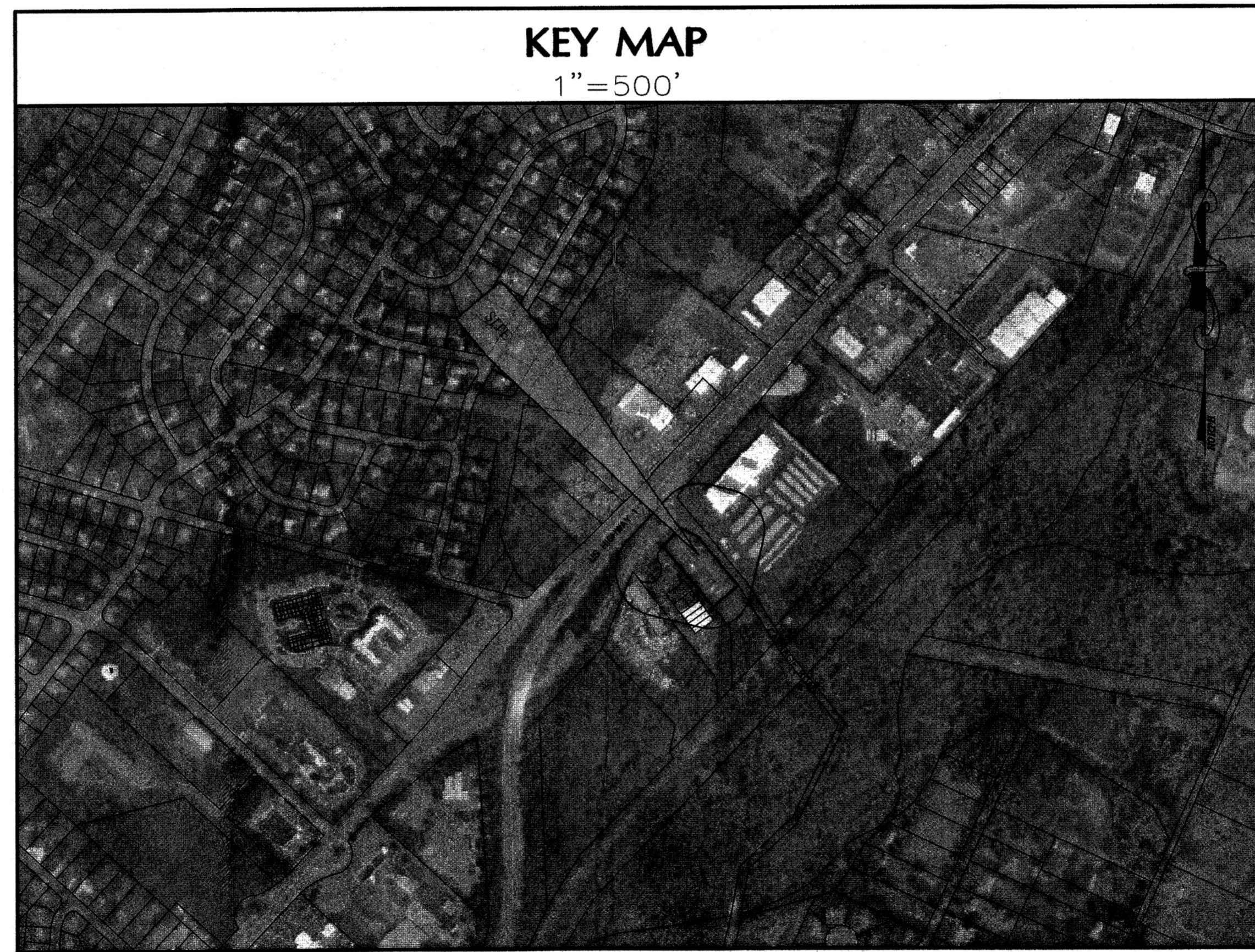
**VARINACES**

MINIMUM REQUIREMENTS	PROPOSED
LOT SIZE	1.40 ACRES *
MIN. FRONTAGE U.S. ROUTE 1	0 FT. *
MIN. GROSS FLOOR AREA	5,896 S.F.± *
MIN. LOT DEPTH	164 FT. *
MIN. REAR YARD	16.3 FT. *
<b>MAX IMPERVIOUS SURFACE RATIO</b>	
LOTS LESS THAN 5 ACRES	.71 *

**LAND USE ORDINANCE**

**SUBMISSION CHECKLIST**

SUBMISSION ITEM NO. AND DESCRIPTION	COMPLIANCE
37. EXISTING AND PROPOSED CONTOUR INTERVALS BASED ON IDENTIFIED DATUM. CONTOURS TO EXTEND AT LEAST 100' BEYOND SUBJECT PROPERTY AS FOLLOWS: UP TO 3% GRADE = 1', 3%+ = 2'. PROPOSED GRADING SHALL OVERLAY EXISTING TOPOGRAPHY	WAIVER - NO PROPOSED GRADING CHANGES
41. DRAINAGE CALCULATIONS.	WAIVER - NO CHANGES TO EXISTING STORMWATER MANAGEMENT SYSTEM
42. STORMWATER MANAGEMENT PLAN AND PROFILES.	WAIVER - NO CHANGES TO EXISTING STORMWATER MANAGEMENT SYSTEM
43. SOIL PERMEABILITY TESTS (IF APPLICABLE), AS WITNESSED BY THE DESIGNATED TOWNSHIP OFFICIAL FOR SUCH PURPOSES.	WAIVER - NO CHANGES TO EXISTING STORMWATER MANAGEMENT SYSTEM
44. PROPOSED UTILITY INFRASTRUCTURE PLANS AND SUPPLIER OF RESOURCES, INCLUDING SANITARY SEWER, WATER, TELEPHONE, ELECTRIC AND CABLE TV.	WAIVER - NO PROPOSED CHANGES TO THE EXISTING UTILITY SYSTEM
58. TREE PROTECTION ZONES AND TREE SAVE AREAS.	WAIVER - NO EXTERIOR IMPROVEMENTS OR EXCAVATION NEAR EXISTING TREES



**KEY MAP**

1" = 500'

I CONSENT TO THE FILING OF THIS PLAN (OR PLAT) WITH THE ZONING BOARD OF THE TOWNSHIP OF LAWRENCE.

*Gene Cuff*  
 APPLICANT: GENE CUFF  
 CADE MOTORS  
 2 CARNEGIE ROAD  
 LAWRENCE TOWNSHIP, NJ 08638  
 DATE: 12/20/2022

I CONSENT TO THE FILING OF THIS PLAN (OR PLAT) WITH THE ZONING BOARD OF THE TOWNSHIP OF LAWRENCE.

*Robert Euler*  
 OWNER: JJB & V LLC  
 1011 WHITEHEAD RD EXT  
 EWING TOWNSHIP, NJ 08638  
 DATE: 1/24/2023

I HAVE REVIEWED THIS PLAN AND CERTIFY THAT IT MEETS ALL CODES AND ORDINANCES UNDER MY JURISDICTION.

*Jeffrey S. Richter*  
 Zoning Board Engineer  
 Date:

APPROVED BY THE ZONING BOARD OF THE TOWNSHIP OF LAWRENCE

Preliminary Date: \_\_\_\_\_  
 Chariman \_\_\_\_\_ Date \_\_\_\_\_  
 Secretary \_\_\_\_\_ Date \_\_\_\_\_

Xrefs: To: Name: CODE: Image: self: only: page: J: V: VENDOR: EULER: SBE: ACT: ENGINEERS: INC.:  
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NO.	DATE	REVISION	DRAWN	CHK	REL.

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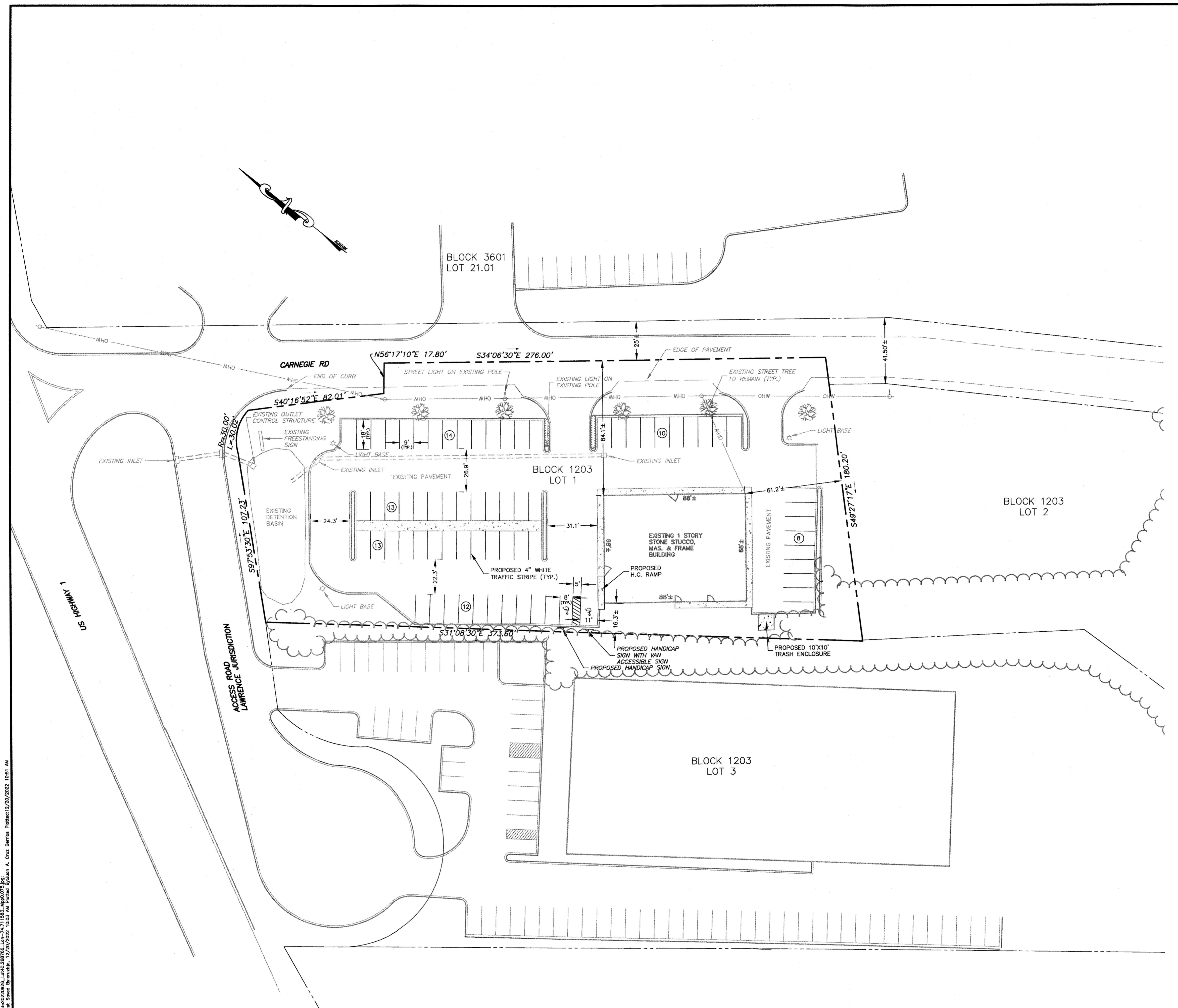
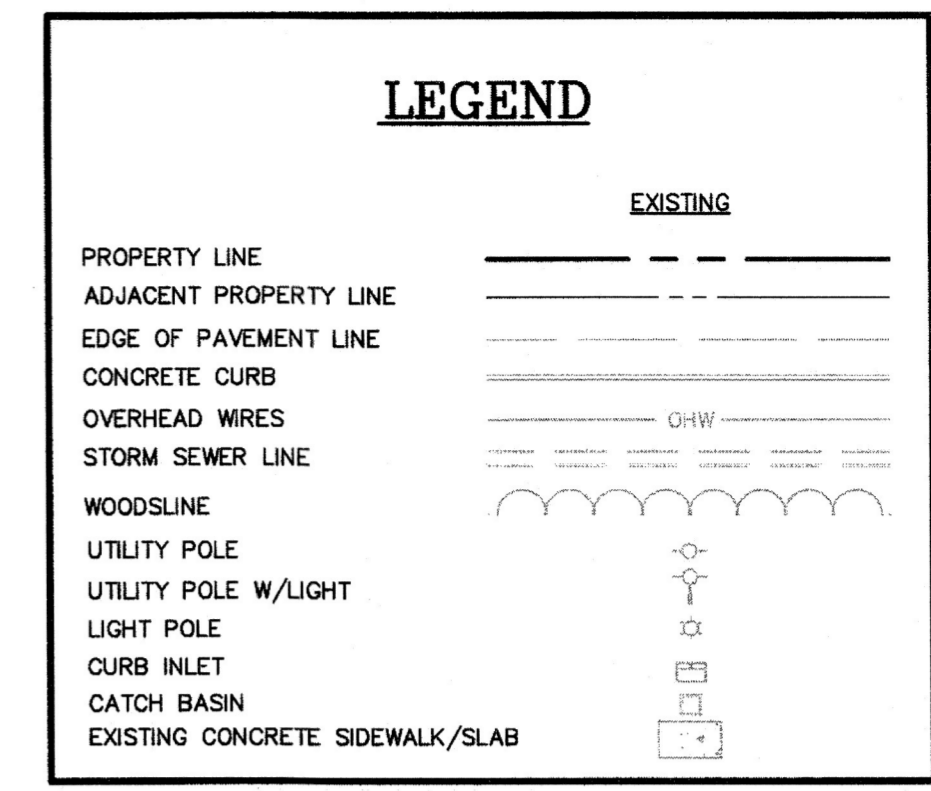
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 Voice: (609) 918-0200  
 www.actengineers.com

*Jeffrey S. Richter* 12-15-22  
**JEFFREY S. RICHTER**  
 NEW JERSEY PROFESSIONAL ENGINEER LIC. NO. 24GE03252000

**ACT ENGINEERS, INC.**  
 A SMALL BUSINESS ENTERPRISE  
 CIVIL ENGINEERING □ LAND SURVEYING □ ENVIRONMENTAL PERMITTING  
 NEW JERSEY CERTIFICATE OF AUTHORIZATION No. 24G02799600

**COVER SHEET**  
 FOR  
**2 CARNEGIE ROAD**  
**LOT 1 BLOCK 1203 TAX MAP SHEET 12.04**  
 SITUATED IN  
 LAWRENCE TOWNSHIP MERCER COUNTY NEW JERSEY

CADD FILE PROJECT NO. 221049-00  
 F-COVER CHECKED BY JCB  
 DRAWN BY JCB  
 SCALE AS NOTED DATE 12/12/22  
**ACT ENGINEERS, INC.**  
 SHEET  
**1 OF 5**



#### GENERAL NOTES

- IF THIS DOCUMENT DOES NOT CONTAIN THE RAISED IMPRESSION SEAL OF THE PROFESSIONAL, IT IS NOT AN AUTHORIZED ORIGINAL AND MAY HAVE BEEN ALTERED.
- THIS SET OF PLANS HAS BEEN PREPARED FOR THE PURPOSE OF MUNICIPAL AND AGENCY REVIEW AND APPROVAL. THIS SET OF PLANS SHALL NOT BE UTILIZED FOR CONSTRUCTION UNTIL ALL CONDITIONS OF APPROVAL HAVE BEEN SATISFIED ON THE DRAWINGS AND EACH DRAWING HAS BEEN REVISED TO INDICATE "ISSUED FOR CONSTRUCTION".
- ALL CONTRACTORS ARE REQUIRED TO NOTIFY ENGINEER (ACT) IMMEDIATELY (AND PRIOR TO CONSTRUCTION OR ORDERING OF ANY MATERIALS) OF ANY PLAN/SPECIFICATION DISCREPANCIES, LAYOUT/ELEVATION DISCREPANCIES, CONFLICTS, APPARENT ERRORS, OMISSIONS OR OF ANY OTHER INFORMATION CONTAINED HEREIN WHICH THE CONTRACTOR FEELS IS UNCLEAR AS TO INTENT. ENGINEER WILL PROVIDE CLARIFICATION AND, IF NECESSARY, CORRECTIONS AS REQUIRED FOR PERFORMANCE OF CONTRACTOR'S WORK.
- UNDERGROUND ENCROACHMENTS, IF ANY HAVE NOT BEEN SHOWN.
- ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. ENGINEER HAS NO CONTRACTUAL DUTY TO CONTROL SITE SAFETY METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE UNITED STATES OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) CURRENT RULES AND REGULATIONS.
- ALL CONSTRUCTION SHOWN HEREIN SHALL BE IN ACCORDANCE WITH THE PLANS AND DETAILS AS SHOWN, MUNICIPAL DETAILS AND STANDARDS AS APPLICABLE AND THE NJDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" LATEST EDITION, IN THIS HIERARCHY.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, TO PROTECT PEDESTRIANS AND TO DIRECT VEHICULAR TRAFFIC. ALL SUCH TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL EXISTING PAVEMENT WHICH IS TO BE DISTURBED BY CUTTING / TRENCHING FOR UTILITY PIPING OR PAVEMENT SUBJECT TO WIDENING AS PART OF THE PROPOSED IMPROVEMENTS SHALL BE SAW CUT OR MILLED TO PROVIDE A CLEAN EDGE.
- THE CONTRACTOR SHALL RESTORE ANY UTILITY STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, MAILBOXES, OR LANDSCAPED AREAS DISTURBED DURING CONSTRUCTION, TO THEIR ORIGINAL CONDITION OR BETTER.
- UNLESS STIPULATED OTHERWISE ALL PROPOSED SIGNAGE AND PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE M.U.T.C.D., (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES).
- CONTRACTOR PROPOSED SUBSTITUTIONS TO SPECIFIED MATERIALS MAY BE ALLOWED ONLY WHERE NOTED AS "OR EQUAL", IF APPROVED BY THE DESIGN ENGINEER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR REQUESTING SUCH SUBSTITUTION TO SUPPLY SHOP DRAWINGS, MATERIAL PRODUCT DATA SHEETS OR MANUFACTURER CUT SHEETS FOR ANY OR ALL PROPOSED SUBSTITUTIONS.
- THE MUNICIPAL ENGINEER SHALL BE NOTIFIED IN WRITING AT LEAST 72 HOURS BEFORE ANY LAND DISTURBANCE.
- ALL SIDEWALK SHALL HAVE POSITIVE PITCH. HOWEVER, NO SIDEWALK LONGITUDINAL SLOPE SHALL BE GREATER THAN 20:1 (5%), NO SIDEWALK CROSS SLOPE SHALL BE GREATER THAN 50:1 (2%).
- SIDEWALKS SHALL BE CONSTRUCTED ON MATERIAL FREE OF ORGANICS, STONES LARGER THAN 2-1/2", AND OTHER UNSUITABLE MATERIALS. SHOULD SUBSURFACE MATERIAL BE UNSUITABLE, IT SHALL BE REMOVED AND REPLACED WITH APPROVED FILL MATERIAL COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
- CONTRACTOR SHALL COORDINATE INSTALLATION FOR ELECTRICAL SERVICES TO Pylon SIGN AND SITE LIGHTING WITH THE BUILDING ELECTRICIAN.
- NO WETLANDS OR OTHER ENVIRONMENTALLY SENSITIVE AREAS WERE ENCOUNTERED WITHIN 100' OF THE PROJECT SITE.

#### PARKING AND PAVING NOTES

- A MINIMUM CLEARANCE OF TWO FEET SHALL BE MAINTAINED BETWEEN THE FACE OF CURB AND ANY PART OF A TRAFFIC SIGN OR LIGHT POLE.
- DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- IN ADA ACCESSIBLE PARKING STALLS THE SLOPE SHALL NOT EXCEED 2.0% IN ANY DIRECTION.
- CONNECTION OF NEW SIDEWALK TO EXISTING SIDEWALK SHALL BE MADE AT AN EXISTING JOINT.
- ALL SIDEWALK AT ACCESSIBLE RAMPS IS TO BE INSTALLED FLUSH WITH THE PAVEMENT SURFACE.

#### REFERENCE NOTES

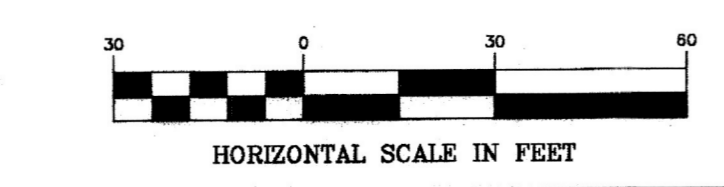
- PROPERTY BOUNDARY INFORMATION AND IMPROVEMENT LOCATIONS TAKEN FROM A SURVEY PLAN ENTITLED: PLAN FOR SURVEY FOR JAMES RADVANY, PREPARED BY A-1 LAND SURVEY, INC AND DATED 2/5/2003.
- SITE INSPECTION PERFORM BY ACT ENGINEERS, ON 11/21/2022.


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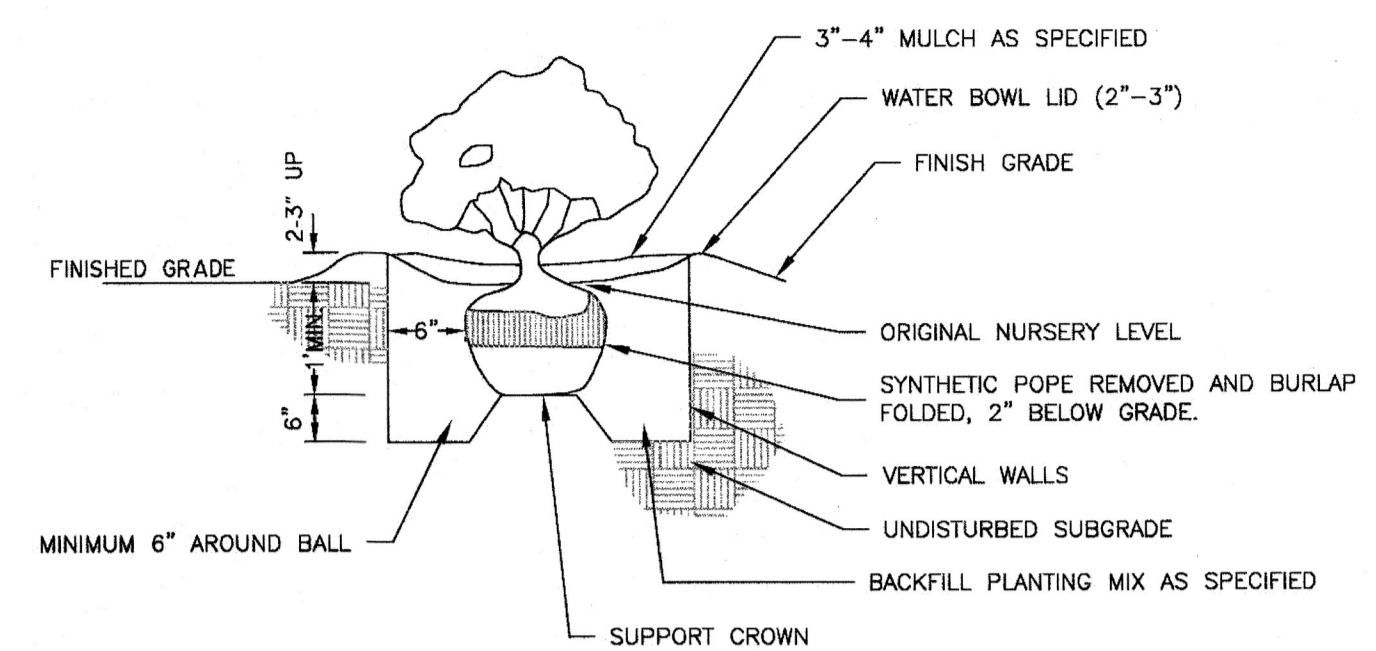


  
 12-15-22  
**JEFFREY S. RICHTER**  
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**SITE PLAN**  
 FOR  
**2 CARNegie ROAD**  
**LOT 1 BLOCK 1203 TAX MAP SHEET 12.04**  
 SITUATED IN  
 LAWRENCE TOWNSHIP  
 MERCER COUNTY  
 NEW JERSEY

CADD FILE	F-SITE	PROJECT NO.	221049-00
DRAWN BY	JCB	CHECKED BY	JR
SCALE	1"=30'	DATE	12/12/22
SHEET			2 OF 5



**PLANTING DETAIL- SHRUBS (B & B CANNED PLANTS)**  
SCALE: NO SCALE (REMOVE CAN)

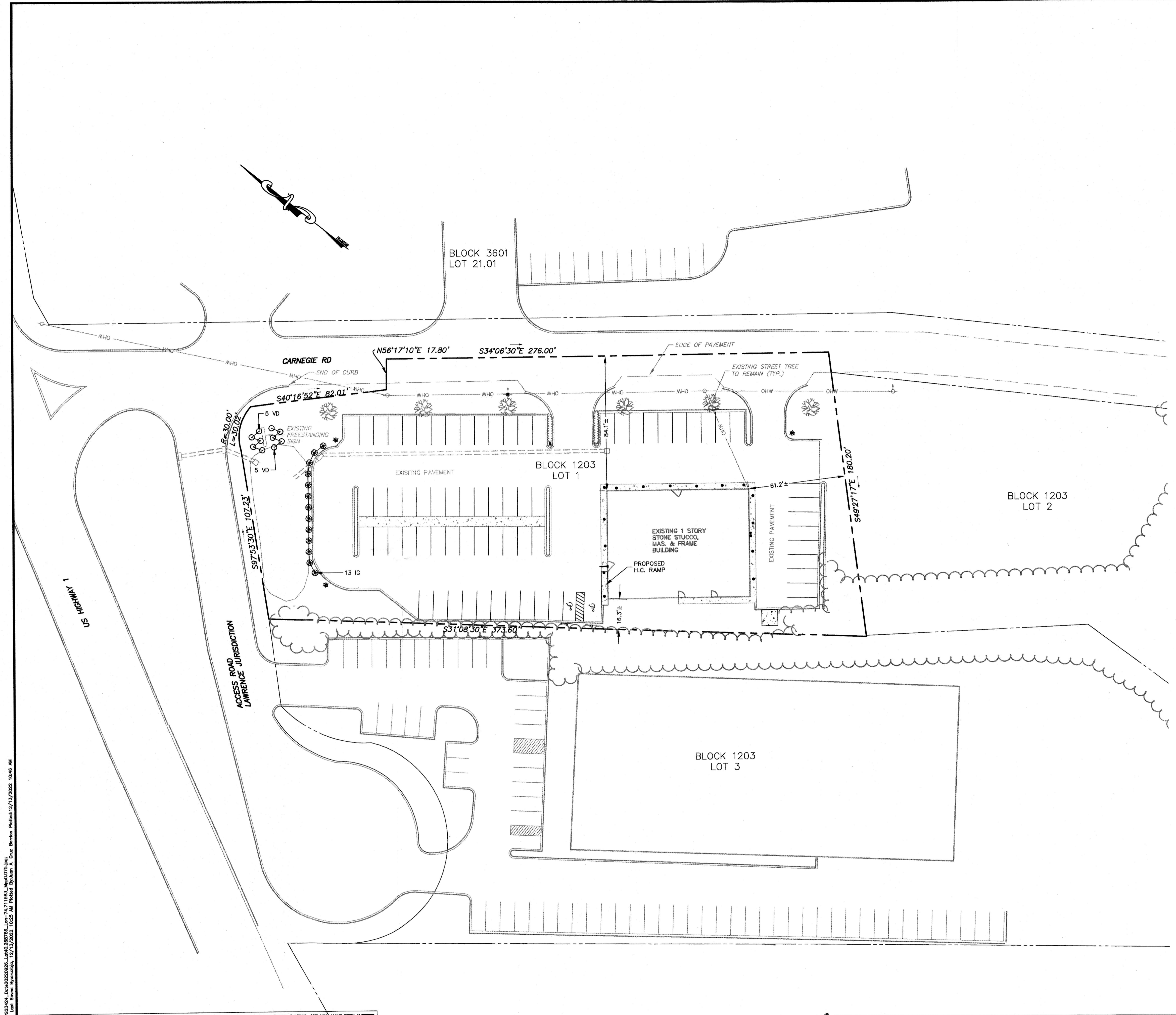
PLANT SCHEDULE		Elsworth Center			
Sym	Qty	Botanical Name	Common Name	Size	Remark
SHRUBS					
IG	13	Ilex glabra 'Compacta'	Compact Inkberry	2'-3' ht.	#3 container
VD	10	Viburnum dentatum	Arrowwood Viburnum	3'-4' ht.	#5 container

**LANDSCAPE NOTES**

- PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT.
- PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
- CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
- IN SO FAR AS IT IS PRACTICAL, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT SHRUBS NOT PLANTED FROM DRYING. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE (3) DAY PERIOD AFTER DELIVERY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WATER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTING SEASONS ARE DEFINED AS MARCH 15 THROUGH MAY 1, AND SEPTEMBER 1 THROUGH NOVEMBER 1. PLANTING IS ACCEPTABLE AT OTHER TIMES IF WEATHER PERMITS, THE GROUND IS NOT FROZEN AND SUPPLEMENTAL WATERING IS PROVIDED IN THE SUMMER.
- THE LANDSCAPE AND LIGHTING PLANS ARE FOR LANDSCAPE AND LIGHTING PURPOSES ONLY. EXAMINE ALL ENGINEERING DRAWINGS AND FIELD CONDITIONS FOR SPECIFIC LOCATIONS OF UTILITIES AND STRUCTURES AND NOTIFY THE LANDSCAPE ARCHITECT OR PROJECT SUPERVISOR OF ANY DISCREPANCIES OR LOCATION CONFLICTS PRIOR TO PLANT INSTALLATION.
- ALL UTILITIES, CONDUITS ETC. INSIDE OF CURBING/EDGING LINE SHALL BE PLACED AS TO NOT INTERFERE WITH EXISTING ROOT SYSTEMS OF PLANT MATERIALS AND/OR INSTALLATION OF NEW MATERIAL.
- NO PLANT SUBSTITUTIONS SHALL BE PERMITTED WITH REGARD TO SIZE, SPECIES OR VARIETY WITHOUT WRITTEN PERMISSION OF THE TOWNSHIP LANDSCAPE ARCHITECT OR OTHER TOWNSHIP OFFICIAL. RESPONSIBLE FOR SUCH DUTIES. WRITTEN PROOF OF PLANT MATERIAL UNAVAILABILITY MUST BE DOCUMENTED.
- ALL PLANT MATERIAL SHALL BE PROPERLY GUYED, STAKED AND PLANTED IN CONFORMANCE WITH THE TYPICAL PLANTING DETAILS. GUY WIRES SHALL BE ATTACHED TO THE TREE AT TWO-THIRDS THE HEIGHT OF THE TREE AND SHOULD BE LOCATED AT POINTS SO AS NOT TO SPLIT THE TRUNKS OF MULTI-STEMMED TREES. PROVIDE TWO TO THREE TREE STAKES PER TREE AS NOTED ON THE PLANS. INSTALL ALL PLANT MATERIAL ON UNDISTURBED GRADE. PROVIDE BURLAP WRAPPING WITH A 50% OVERLAP. CUT AND REMOVE BURLAP FROM THE TOP ONE-THIRD OF A ROOT BALL. WHERE A WIRE BASKET IS PRESENT CUT AND REMOVE THE TOP HALF.
- NEWLY INSTALLED PLANT MATERIAL SHALL BE WATERED AT THE TIME OF INSTALLATION. REGULAR WATERING SHALL BE PROVIDED TO ENSURE THE ESTABLISHMENT, GROWTH AND SURVIVAL OF ALL PLANTS.
- SUBSEQUENT TO FINE GRADING AND REMOVAL OF DELETERIOUS AND UNACCEPTABLE MATERIALS, ALL DISTURBED LAWN AREAS SHALL BE STABILIZED WITH SEED AS INDICATED ON THE PLANS. SEED MIXTURE SHALL BE AS LISTED IN THE SEEDING SCHEDULE. ALL DISTURBED LAWN AREAS SHALL BE TOPSOILED, LIMED, AND FERTILIZED PRIOR TO LAWN INSTALLATION.
- ALL EXISTING TREES AND SHRUBS TO BE PRESERVED ON SITE SHALL BE PROTECTED AGAINST CONSTRUCTION DAMAGE BY SNOW FENCING. ALL FENCING SHALL BE PLACED OUTSIDE THE INDIVIDUAL TREE CANOPY. ALL TREES TO REMAIN SHALL BE IDENTIFIED IN THE FIELD PRIOR TO COMMENCEMENT OF CONSTRUCTION, GRADING OR CLEARING.
- CONTRACTOR SHALL USE EXTREME CARE WHEN INSTALLING LANDSCAPING AROUND UTILITIES AND DRAINAGE.
- ALL PLANTINGS IN PARKING LOT ISLANDS SHALL BE SET BACK A MINIMUM OF 2 FEET FROM THE BACK OF CURB.
- ALL PLANT GROUPINGS SHALL BE PLANTED IN A CONTINUOUS MULCHED BED AS SHOWN ON PLANS.
- CONTRACTOR IS TO PROVIDE IRRIGATION AND MAINTENANCE OF LANDSCAPING AND LAWN AREAS DURING THE CONTRACT PERIOD.
- THE CONTRACTOR SHALL GUARANTEE THE HEALTH OF ALL NEW PLANTINGS FOR A PERIOD OF ONE (1) YEAR COMMENCING FROM THE DATE OF INSTALLATION. ALL DEAD, DYING OR DISEASED PLANTINGS SHALL BE REPLACED AT NO COST TO THE OWNER WITHIN THE FIRST YEAR.

**GENERAL NOTES**

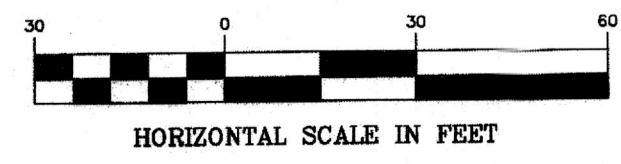
- PROPERTY BEARING AND DISTANCES WERE TAKEN FROM A SURVEY PLAN ENTITLED: PLAN FOR SURVEY FOR JAMES RADWANY, PREPARED BY A-1 LAND SURVEY, INC AND DATED 2/5/2003.
- SITE INSPECTION PERFORMED BY ACT ENGINEERS, ON 11/21/2022.

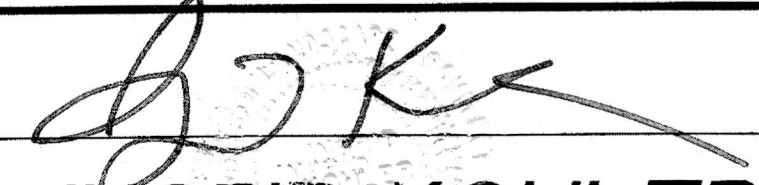


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**INGRID KOHLER**  
 NEW JERSEY LICENSED LANDSCAPE ARCHITECT LICENSE No. 21AS00094300

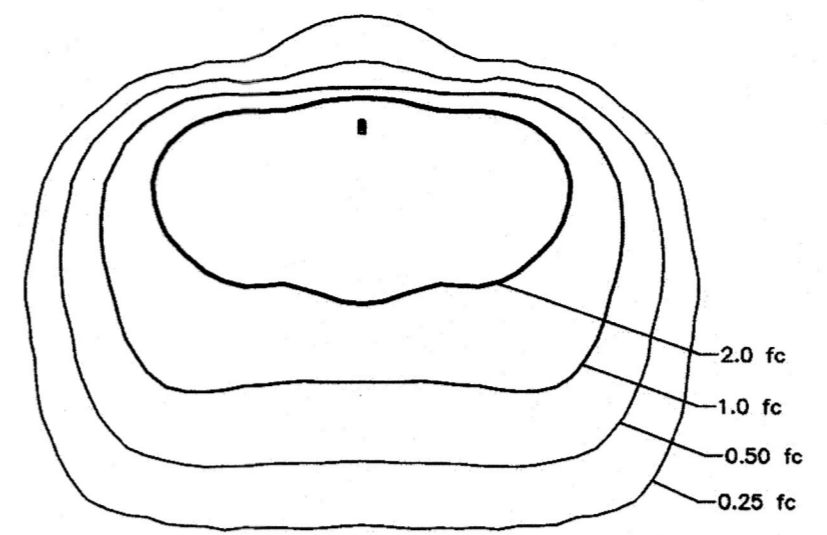
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 A SMALL BUSINESS ENTERPRISE  
 CIVIL ENGINEERING □ LAND SURVEYING □ ENVIRONMENTAL PERMITTING  
 NEW JERSEY CERTIFICATE OF AUTHORIZATION No. 24542799090

**LANDSCAPE PLAN**  
FOR  
**2 CARNEGIE ROAD**  
LOT 1 BLOCK 1203 TAX MAP SHEET 1204

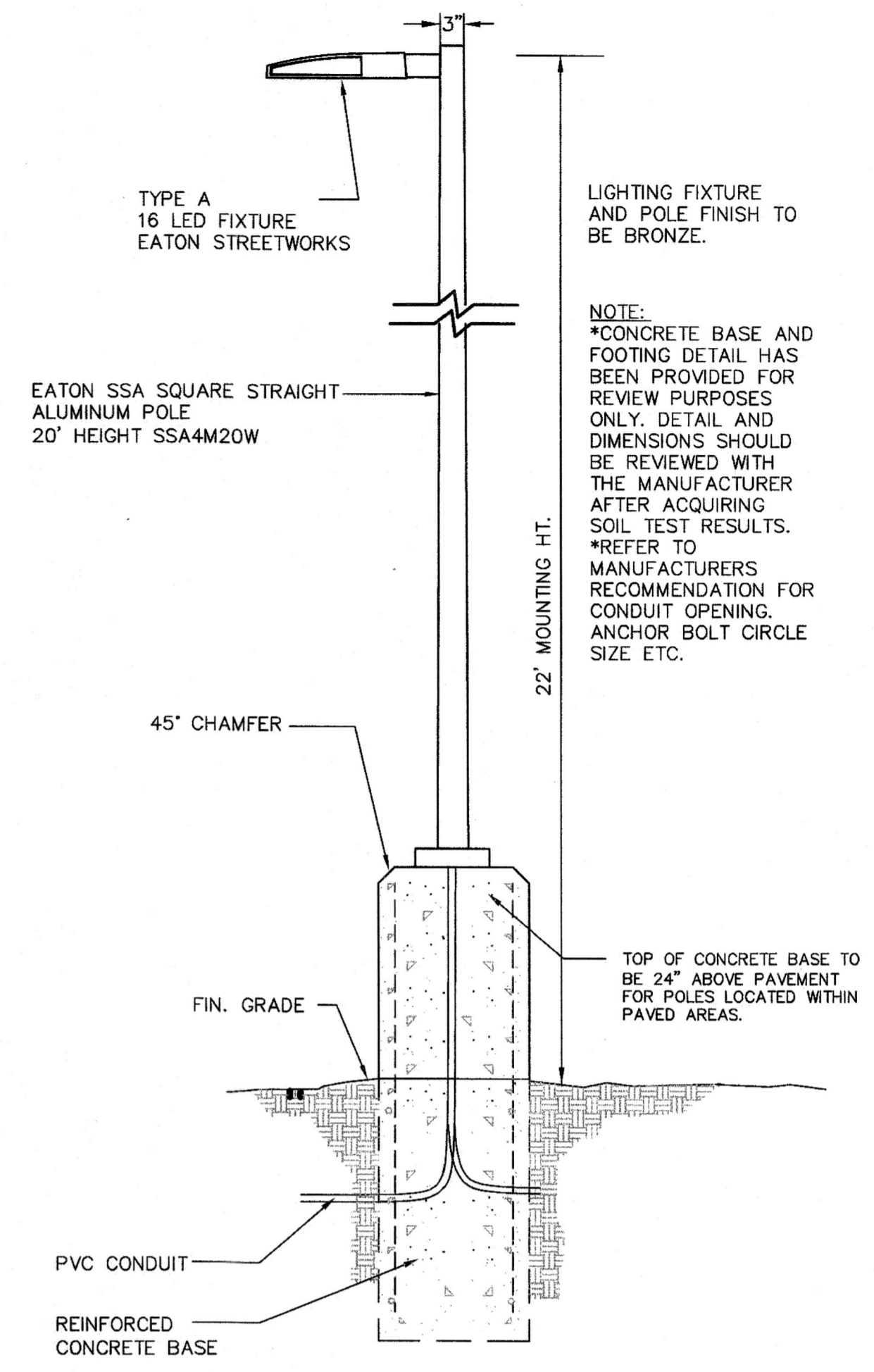
SITUATED IN  
LAWRENCE TOWNSHIP MERCER COUNTY NEW JERSEY

CADD FILE: F-LS LIGHT  
 PROJECT NO.: 221049-00  
 DRAWN BY: NH  
 CHECKED BY: JK  
 SCALE: 1"=30'  
 DATE: 12/12/22  
**ACT ENGINEERS, INC.**  
 SHEET  
**3 OF 5**

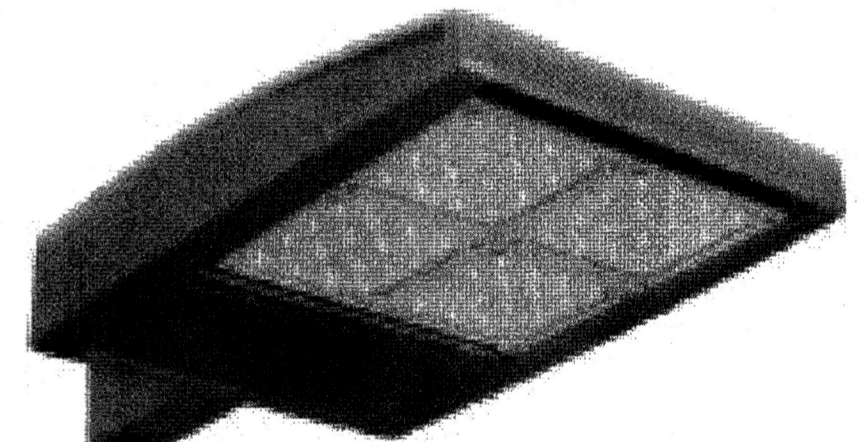
LUMINAIRE SCHEDULE										
Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts	
☀	A	3	GAN-AF-02-LED-U-SL4	GALLEON AREA AND ROADWAY LUMINAIRE (2) 70 CRI, 3000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS	LED	GAN-AF-02-LED-U-SL4.ies	Absolute	0.91	59.0	



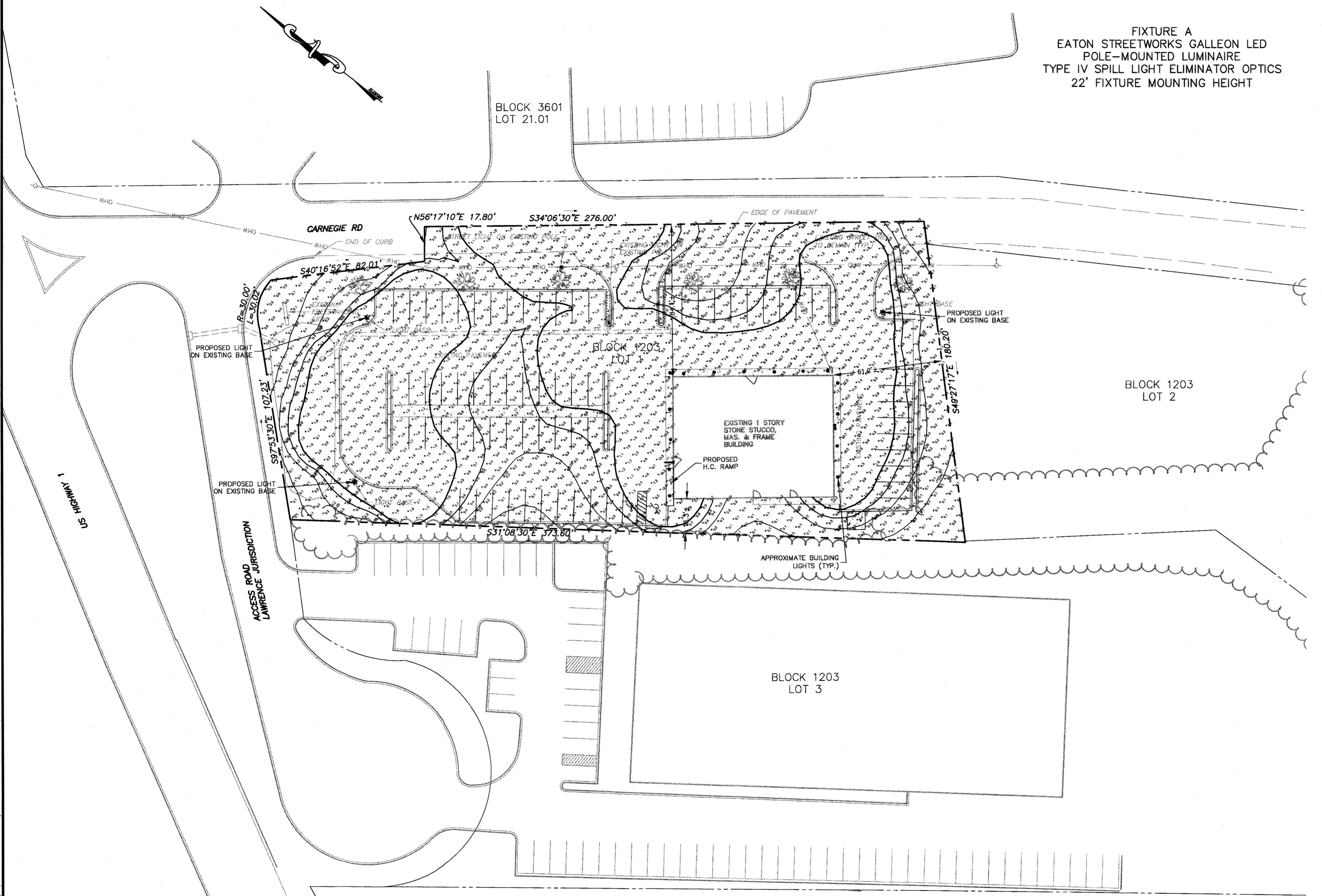
FIXTURE A  
EATON STREETWORKS GALLEON LED  
POLE-MOUNTED LUMINAIRE  
TYPE IV SPILL LIGHT ELIMINATOR OPTICS  
22' FIXTURE MOUNTING HEIGHT



LIGHT POLE AND BASE DETAIL  
SCALE: NO SCALE



FIXTURE A  
EATON STREETWORKS GALLEON AREA LED  
MOUNTING HEIGHT 22'  
POLE MOUNTED LED FIXTURE  
SCALE: NO SCALE

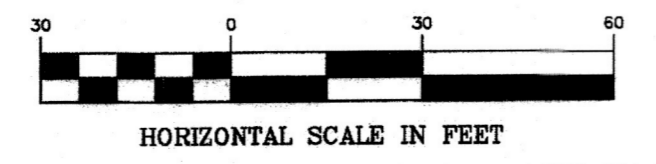


GENERAL NOTES

- PROPERTY BEARING AND DISTANCES WERE TAKEN FROM A SURVEY PLAN ENTITLED: PLAN FOR SURVEY FOR JAMES RADWANY, PREPARED BY A-1 LAND SURVEY, INC AND DATED 2/5/2003.
- SITE INSPECTION PERFORMED BY ACT ENGINEERS, ON 11/21/2022.

NO.	DATE	REVISION	DRAWN	CHK	REL

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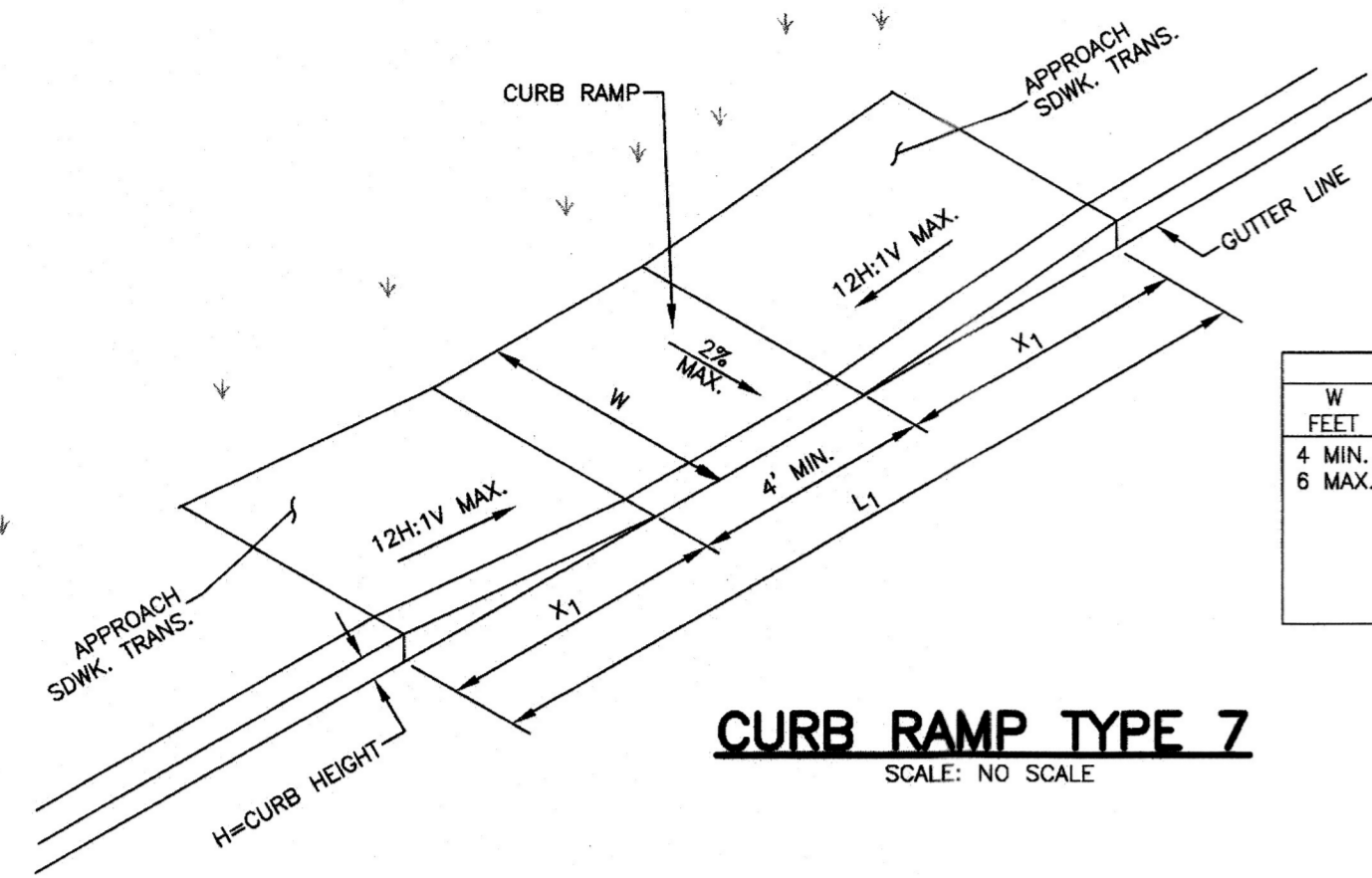
*Jeffrey S. Richter* 12.15.22  
**JEFFREY S. RICHTER**  
NEW JERSEY PROFESSIONAL ENGINEER LIC. NO. 24GE03252000

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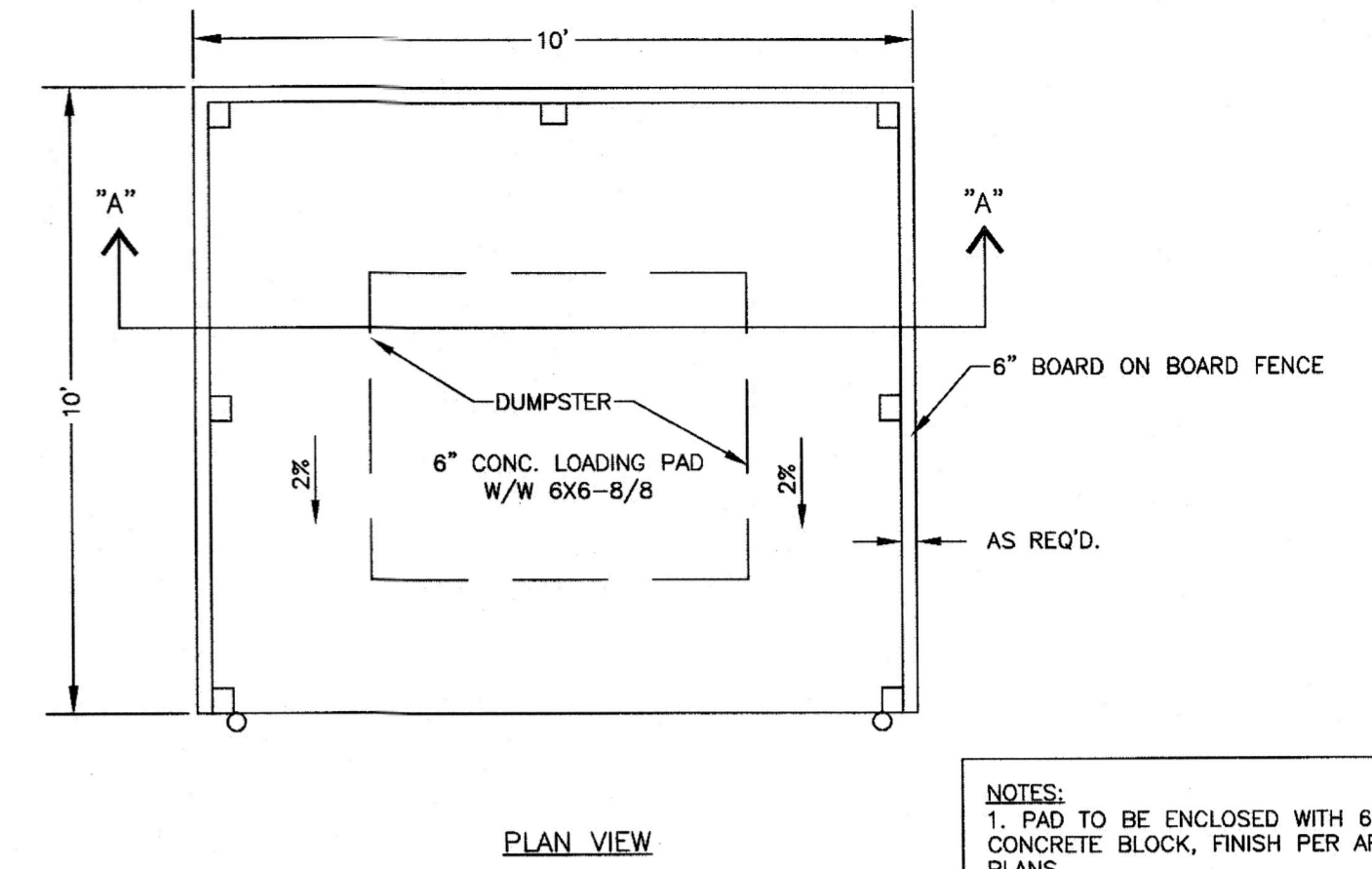
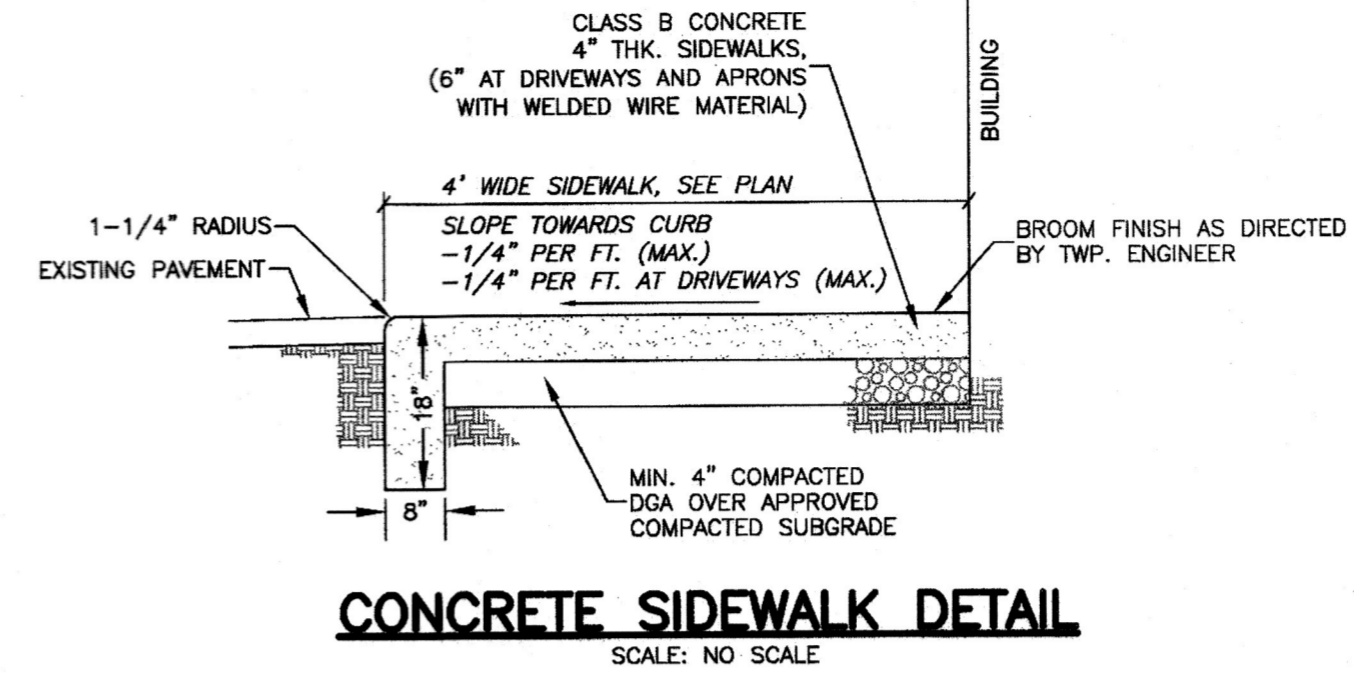
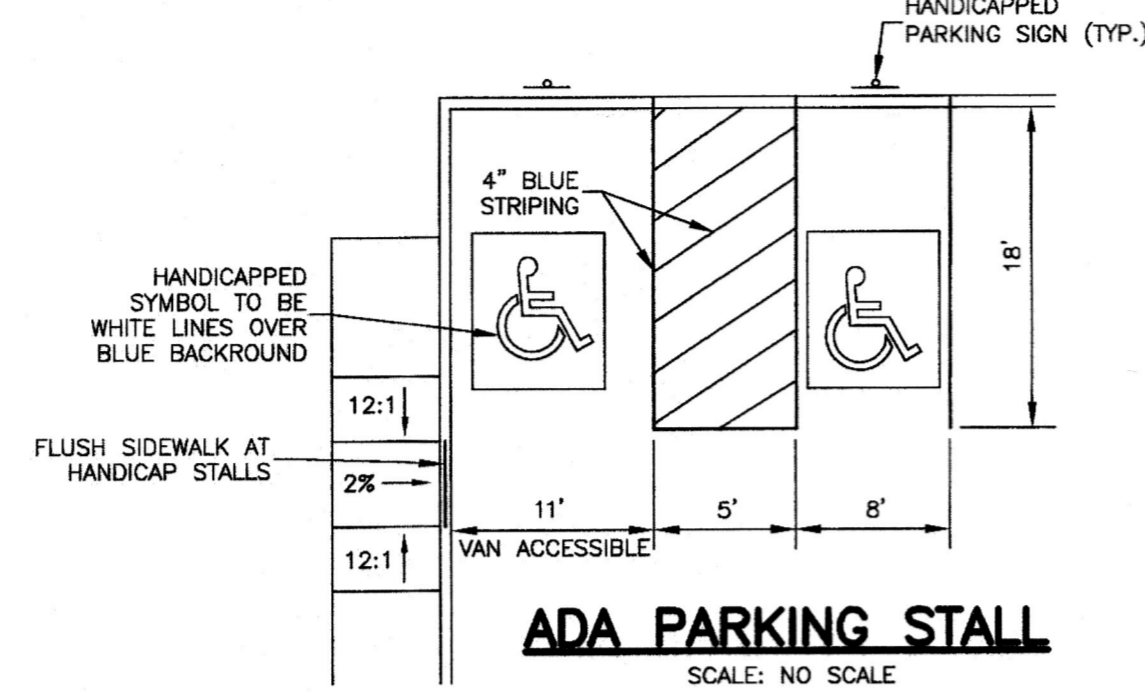
**LIGHTING PLAN**  
FOR  
**2 CARNAGIE ROAD**  
LOT 1 BLOCK 1203 TAX MAP SHEET 12.04  
SITUATED IN  
MERCER COUNTY  
NEW JERSEY

CADD FILE: F-LS LIGHT PROJECT NO. 221049-00  
DRAWN BY: NH CHECKED BY: JR  
SCALE: 1"=30' DATE: 12/12/22  
**ACT ENGINEERS, INC.**  
SHEET  
**4 OF 5**

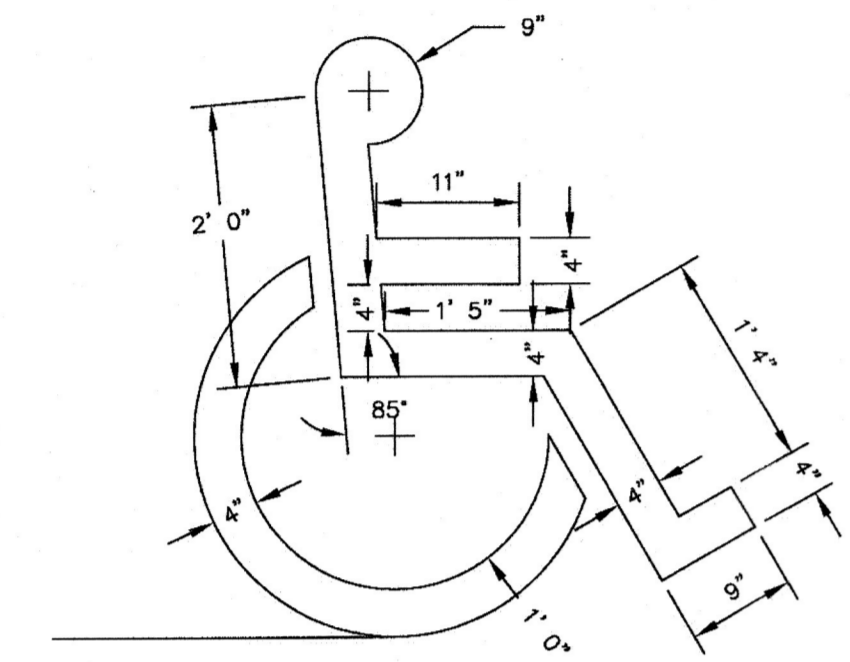
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 S:\2022\121222\121222\_121222.dwg, Date: 12/12/2022, User: J. Richter, Plot: 121222\_121222.dwg, Plot Date: 12/12/2022, 10:46 AM



CURB RAMP TYPE 1			
W FEET	H INCHES	X1 FEET	L1 FEET
4 MIN.	3	3	11
6 MAX.	4	4	13
	5	5	15
	6	6	17
	7	7	19
	8	8	21
	9	9	23



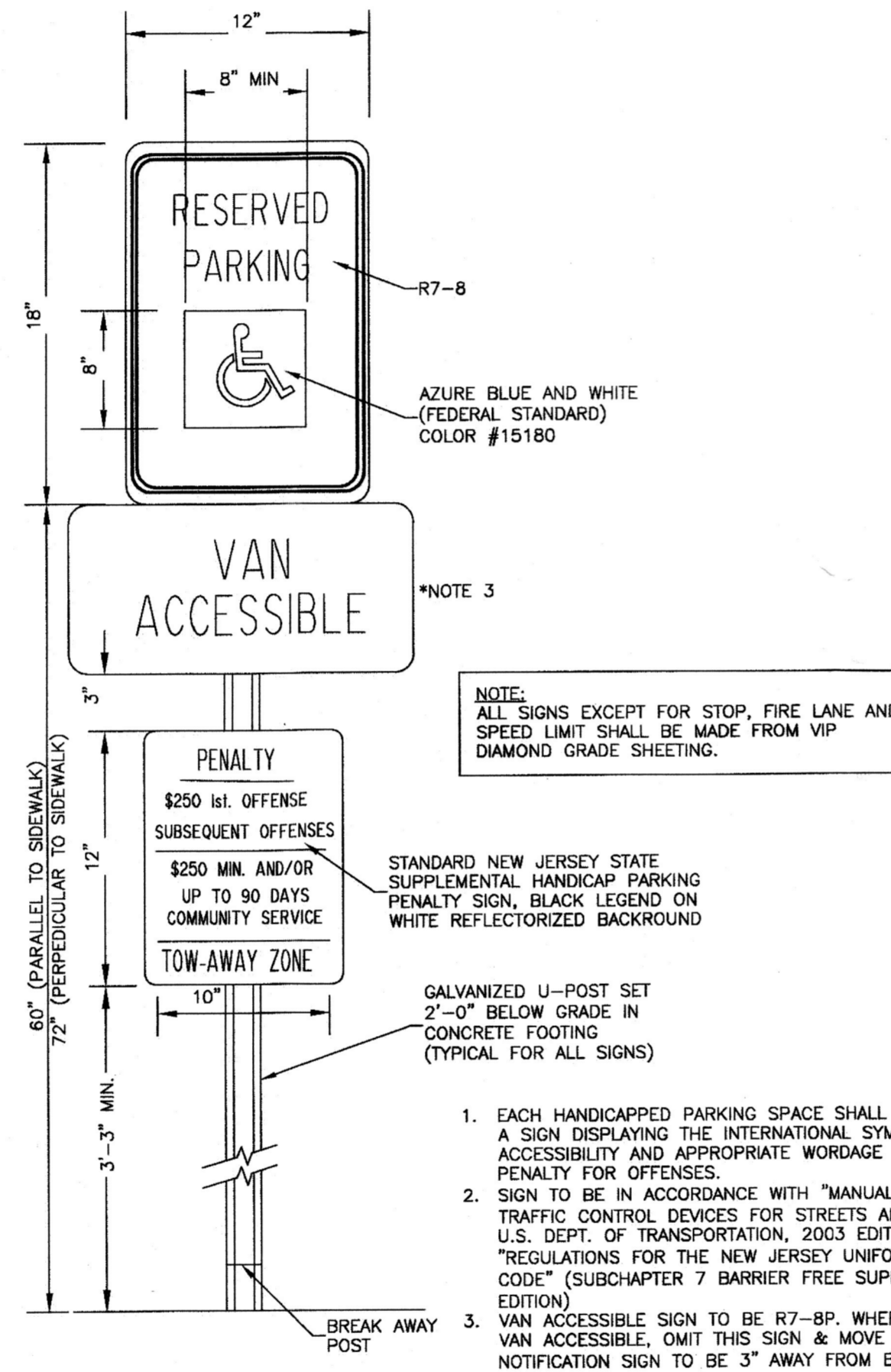
**NOTES:**  
1. PAD TO BE ENCLOSED WITH 6\"/>



OPEN END OF PARKING STALL  
WHITE AND BLUE PAINT TO BE USED FOR HANDICAPPED PARKING SYMBOL

**ADA PARKING SYMBOL**  
SCALE: NO SCALE

- ADA PARKING NOTES:**
1. AT LEAST ONE SPACE SHALL BE VAN ACCESSIBLE.
  2. WHEEL STOP BUMPER IS REQUIRED WHEN NO CURB OR BARRIER IS PROVIDED WHICH WILL PREVENT ENCROACHMENT OF CARS OVER WALK WAY.
  3. TWO PERCENT (2%) MAXIMUM CROSS FALL ALLOWED IN PARKING SPACE AND ACCESS AISLE.
  4. LOADING AND UNLOADING AREA MUST CONNECT TO AN ACCESSIBLE PATH OF TRAVEL.
  5. ALL STRIPING SHALL BE 4\"/>

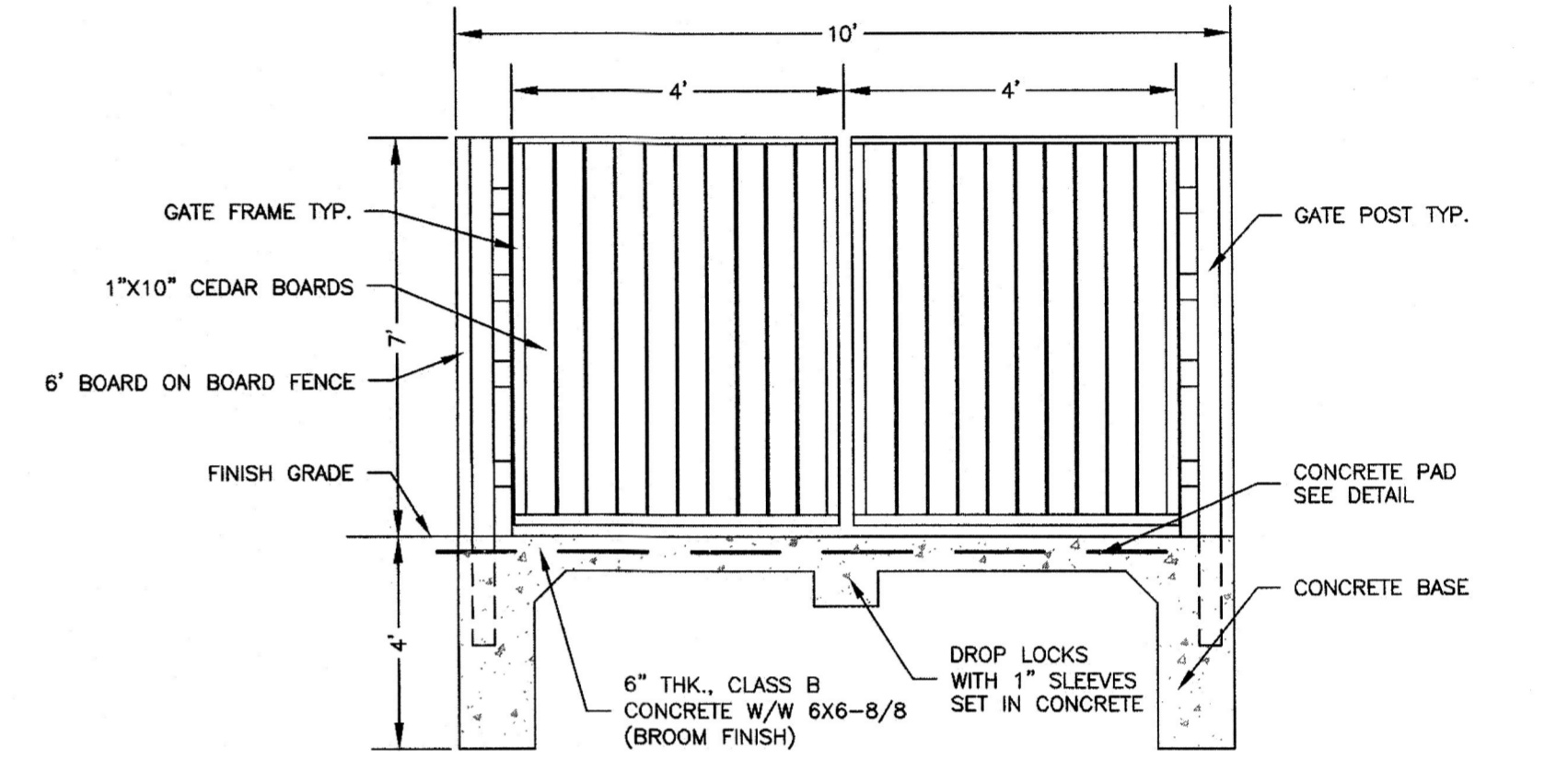


**NOTE:**  
ALL SIGNS EXCEPT FOR STOP, FIRE LANE AND SPEED LIMIT SHALL BE MADE FROM VIP DIAMOND GRADE SHEETING.

STANDARD NEW JERSEY STATE SUPPLEMENTAL HANDICAP PARKING PENALTY SIGN, BLACK LEGEND ON WHITE REFLECTORIZED BACKGROUND

GALVANIZED U-POST SET 2'-0\"/>

1. EACH HANDICAPPED PARKING SPACE SHALL BE IDENTIFIED WITH A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND APPROPRIATE WORDAGE REFERENCING PENALTY FOR OFFENSES.
2. SIGN TO BE IN ACCORDANCE WITH "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" (BY U.S. DEPT. OF TRANSPORTATION, 2003 EDITION AND "REGULATIONS FOR THE NEW JERSEY UNIFORM CONSTRUCTION CODE" (SUBCHAPTER 7 BARRIER FREE SUPPLEMENT LATEST EDITION)
3. VAN ACCESSIBLE SIGN TO BE R7-BP. WHERE SPACE IS NOT VAN ACCESSIBLE, OMIT THIS SIGN & MOVE PENALTY NOTIFICATION SIGN TO BE 3\"/>



**NOTES:**  
1. SHOP DRAWINGS TO BE PROVIDED.  
2. GATE FINISH COLOR TO BE DETERMINED BY OWNER.

File: 246E0325.dwg Date: 12/12/22 10:20 AM Plotted By: J. S. Richter Plot Date: 12/12/22 10:42 AM  
 S:\2022\246E0325.dwg User: J. S. Richter  
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NO.	DATE	REVISION	DRAWN	CHK	REL

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12-15-22  
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**CONSTRUCTION DETAILS**  
 FOR  
**2 CARNegie ROAD**  
**LOT 1 BLOCK 1203 TAX MAP SHEET 12.04**  
 SITUATED IN  
 MERCER COUNTY  
 LAWRENCE TOWNSHIP  
 NEW JERSEY

CADD FILE	F-DET	PROJECT NO.	221049-00
DRAWN BY	JCB	CHECKED BY	JR
SCALE	N.T.S.	DATE	12/12/22
ACT ENGINEERS, INC.			SHEET
5 OF 5			